

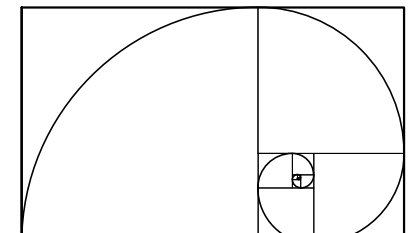
04.280 Placement of manufactured homes in conventional SFR areas.

These standards permit the placement of manufactured, factory-built or modular housing in all areas designated for conventional single-family residential dwellings: SFR, ER, RR, MFR-L, MU, RU, RM, AG and OS.

These building and architectural standards are intended to ensure visual compatibility with traditional single-family home construction (stick built). Before an installation permit is issued for any manufactured, factory-built or modular housing, plans shall be submitted in compliance with the following standards:

- A. A site plan in full compliance with the building permit application checklist.
- B. Evidence that the home is 10 years old or newer (except in RMH) and bears a seal of the US Department of Housing and Urban Development (HUD) certifying that HUD construction standards are met ();
- C. Elevations showing the roof slope, roof materials, eave overhang and exterior siding materials;
- D. The unit must meet the design wind, seismic and roof load requirements;
- E. In addition, the following standards shall apply except in the RMH land use designation:
 1. Have a minimum width of 20 feet or more. A minimum width less than 20 feet may be allowed when the home is generally consistent with community or countywide design guidelines.
 2. Be attached to a permanent perimeter foundation constructed of concrete or masonry. This foundation shall meet the same requirements as foundations for all other single-family residential structures in the county. If the home is installed on an engineered foundation system, perimeter concrete or masonry walls shall be required;
 3. Be covered with an exterior material customarily used for conventional dwellings and approved by the Mono County Building Division;
 4. Have a roof pitch of not less than 3 inches for each 12 inches of horizontal run and consisting of shingles or other material customarily used for conventional dwellings and approved by the Mono County Building Division; and
 5. Eaves (roof overhang) shall extend a minimum of 10 inches on all sides of the home. An exception to this eave requirement may be granted by the building official if proof is provided that the 10-inch eave would prohibit transportation of the home.

ADVISORY NOTE: Mono County is not responsible for enforcing Covenants, Codes and Restrictions (CC&Rs). Property owners should consult their applicable CC&Rs for any restrictions on the type of housing.



DESIGN DIMENSION ASSOCIATES
DESIGN PLANNING STRUCTURES
 P. O. BOX 7193
 MAMMOTH LAKES, CA 93546
 TEL/FAX (760) 934-4348

OVERALL SITE PLAN

REEDY-SCHOTT Family Residence
 CLIENT NAME: MELANIE REEDY & MATTHEW SCHOTT
 CONTACT ADDRESS:
 PROJECT ADDRESS:
 APN: 060-150-004-000

760.914.2349
 P.O. Box 9157
 Mammoth Lakes, CA 93546
 3858 Crowley Lake Dr.
 Crowley Lake, CA 93546

REVISIONS

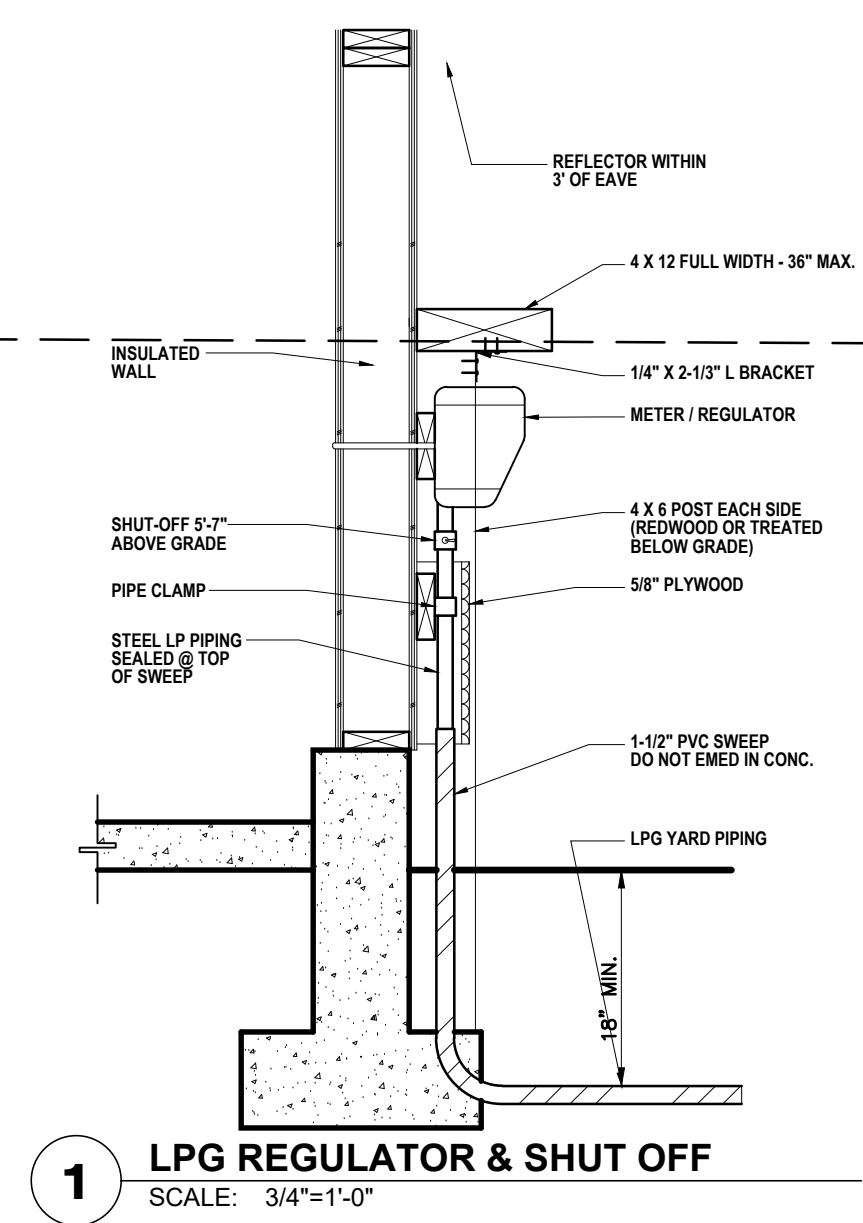
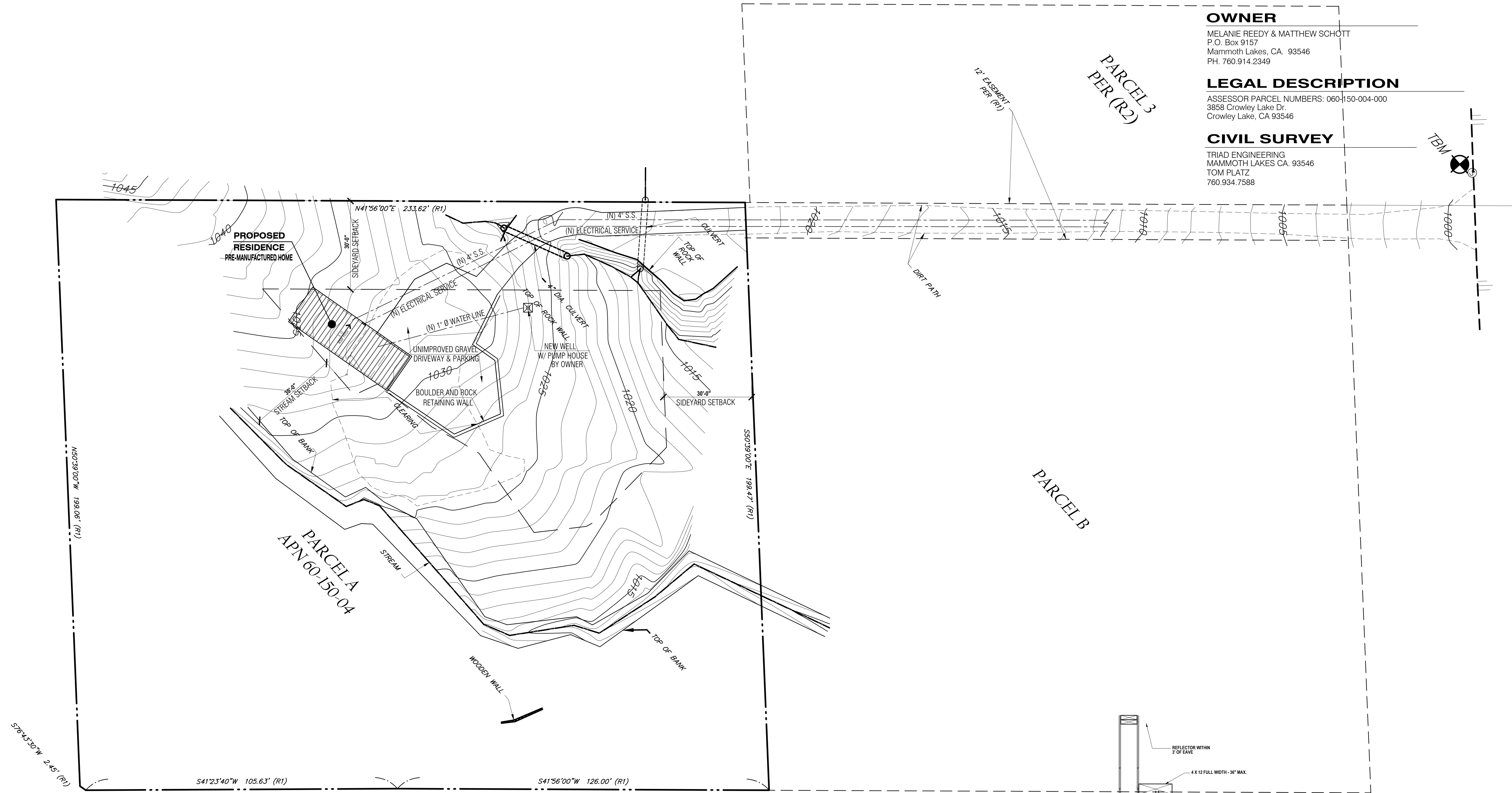
MAY 2021
 SCALE: AS SHOWN
 DRAWN: CWT/CJO
 PRINTED 11.7.21
 SHEET

A1

OWNER
 MELANIE REEDY & MATTHEW SCHOTT
 P.O. Box 9157
 Mammoth Lakes, CA. 93546
 PH. 760.914.2349

LEGAL DESCRIPTION
 ASSESSOR PARCEL NUMBERS: 060-150-004-000
 3858 Crowley Lake Dr.
 Crowley Lake, CA 93546

CIVIL SURVEY
 TRIAD ENGINEERING
 MAMMOTH LAKES CA. 93546
 TOM PLATZ
 760.934.7588

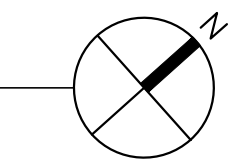


1 LPG REGULATOR & SHUT OFF
 SCALE: 3/4"=1'-0"

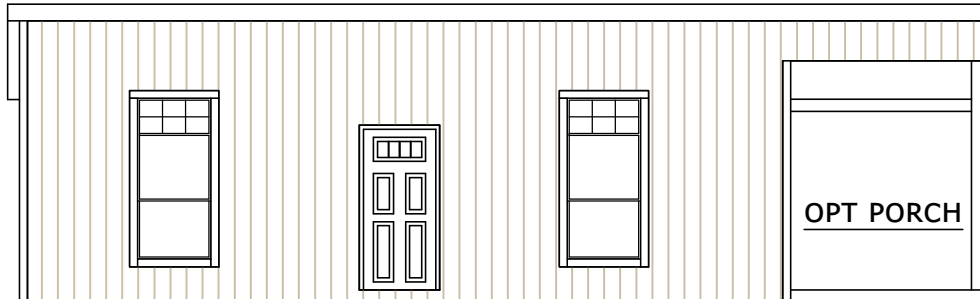
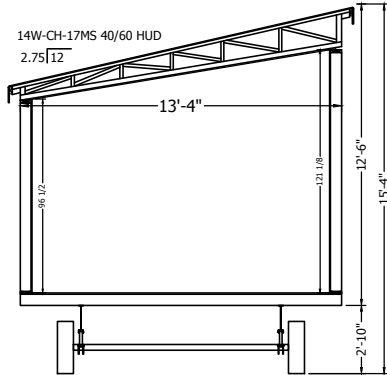
COVERAGE ANALYSIS

TOTAL LOT AREA	100%	46,667 SQ.FT.
ALLOWABLE COVERED AREA	40%	34,172 SQ.FT.
PROPOSED BUILDING FOOTPRINT AREA		533 SQ.FT.
PROPOSED GRAVEL DRIVE AREA		2,364 SQ.FT.
ACTUAL COVERED TOTAL AREA	.14%	533 SQ.FT.
SNOW STORAGE (2,364 x .75)		1,773 SQ.FT.

OVERALL SITE PLAN
 SCALE 1/16" = 1'-0"



DESIGN DIMENSION & ASSOC. HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS, AND DESIGNS. THESE PLANS, IDEAS, AND DESIGNS ARE NOT TO BE REPRODUCED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM DESIGN DIMENSION & ASSOC.

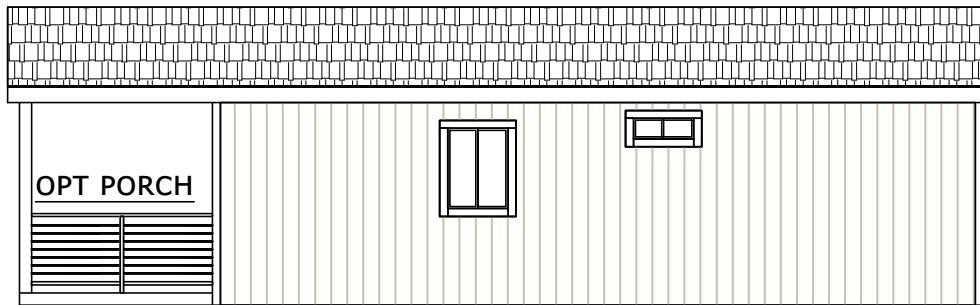


10' TALL SIDEWALL

FRONT SIDE ELEVATION

HITCH END

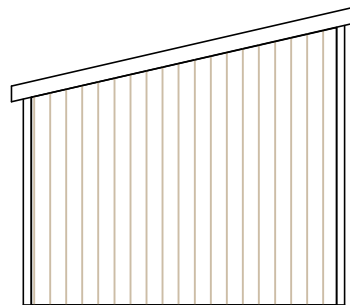
*****Preliminary***
not for
Production!!**



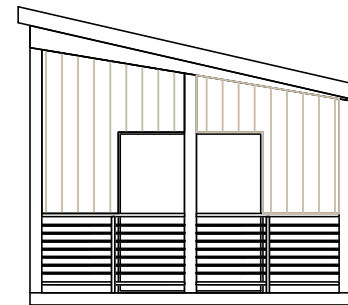
HITCH END

REAR SIDE ELEVATION

8' TALL SIDEWALL



LEFT END ELEVATION



OPT PORCH

RIGHT END ELEVATION

HITCH END

**CHAMPION
HOME BUILDERS**
788 W. BIG BEAVER ROAD, SUITE 1000 TROY, MI 48064
PHONE: 248-614-8900

MODIFICATIONS

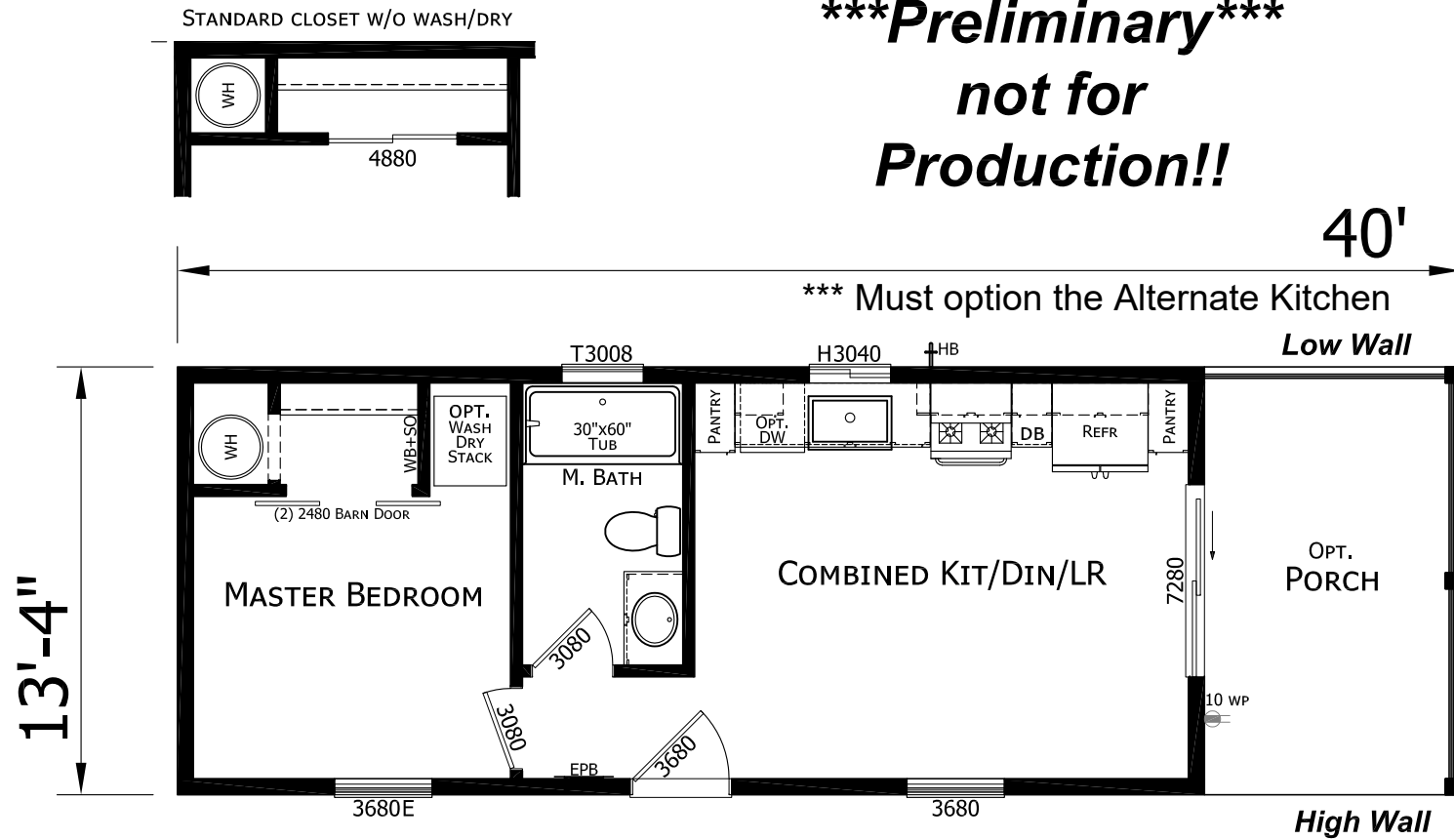
PROJECT: 17-AD1321B
32'-0" x 13'-4"
1 BD 1 BT

DRAWN BY: J. ALDRICH
DATE: 01-14-21
SCALE: 3/16" = 1'-0"

TITLE: ELEVATIONS
FILENAME: AD1321B (NEW 2021) NEEDS APPROVAL

SHEET: EV-101
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*****Preliminary***
not for
Production!!**



*** Must option the Alternate Kitchen

17-AD1321B
1 BEDROOM 1 BATH
40'-0" x 13'-4"
533 SQ. FT. TOTAL
01-12-21

CHAMPION
HOME BUILDERS
755 W. BIG BEAVER ROAD, SUITE 1000 TROY, MI 48064
PHONE: 248-614-8200

MODIFICATIONS

PROJECT: 17-AD1321B
32'-0" x 13'-4"
1 BD 1 BT

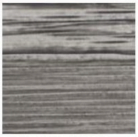
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FILENAME: AD1321B (NEW 2021) NEEDS APPROVAL

SHEET: L-101

PROPRIETARY AND CONFIDENTIAL
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SIDING

Wood Tone Rustic Cement Lap Siding



Cascade Slate



Old Cherry (Shown)

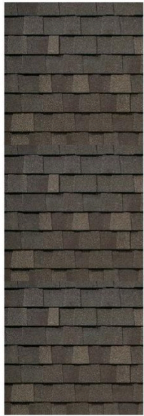


White Granite



SHINGLES

"Architectural Style"



Weathered Wood



Rustic Black



Thunderstorm Gray

- *Siding will be cascade slate in cement lap siding
- *Shingles will be Thunderstorm Gray
- *Trim will Black Magic

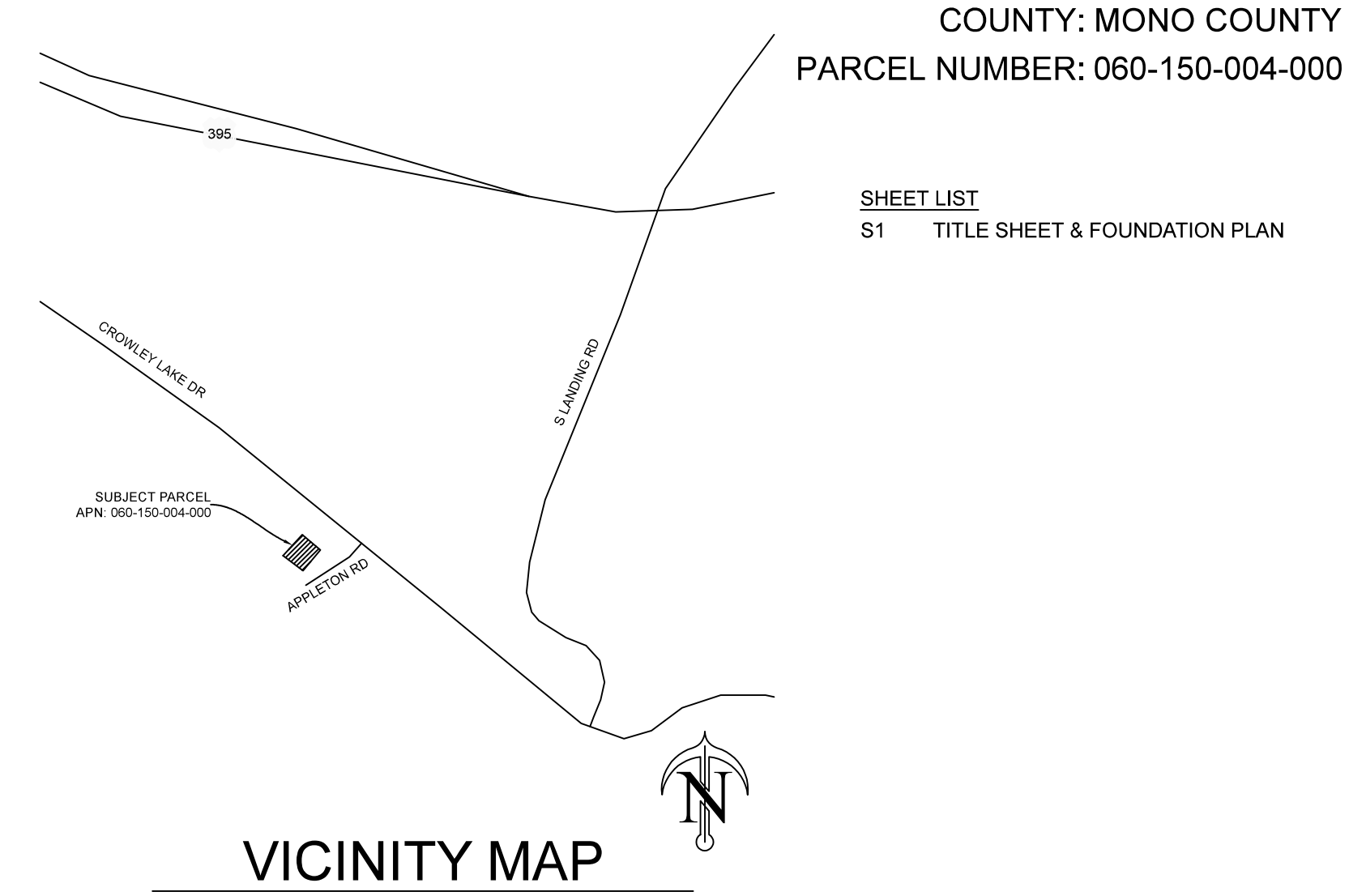


1	JURISDICTION	MONO COUNTY, CA
	GENERAL LOCATION	PORTION 26, T04S, R29E, MDM
	ZONING	NA
2	BUILDING CODE	2015 H.U.D., 2016 CBC
	PROJECT DESCRIPTION:	ACCESSORY DWELLING UNIT INSTALLATION
3	GRAVITY LOADING	
A	DEAD LOAD: FLOOR (JOISTS, FINISH)	< 20 PSF
B	DEAD LOAD: ROOF (TRUSSES, SHEATHING, ROOFING)	< 20 PSF
C	LIVE LOAD: FLOOR	40 PSF
D	LIVE LOAD: ROOF	40 PSF
E	GROUND SNOW LOAD	125 PSF
	BUILDING ELEVATION	7081 FEET
4	H.U.D. DESIGN STANDARD	
A	THERMAL	ZONE 3
B	WIND	ZONE 1
5	FEMA FLOOD HAZARD RATING	
A	ZONE X (UNSHADED) = OUTSIDE 100-YEAR FLOODPLAIN	
B	FLOOD MAP PANEL	06051C1675D
C	FLOOD MAP EFFECTIVE DATE	2011-02-18
6	SITE FACTORS	
A	SOIL CLASSIFICATION	'INDIAN CREEK' SANDY CLAY GC
B	AT DEPTH RANGE INCL. FOUNDATION DESIGN BASE	18-36 INCHES
C	IBC BEARING CAPACITY	1500 PSF

REEDY RESIDENCE

3858 CROWLEY LAKE DR MAMMOTH LAKES, CA 93546

ACCESSORY DWELLING UNIT INSTALLATION



COUNTY: MONO COUNTY
PARCEL NUMBER: 060-150-004-000

SHEET LIST
S1 TITLE SHEET & FOUNDATION PLAN

ADU FOUNDATION PLAN
3858 CROWLEY LAKE DR, MAMMOTH LAKES, CA
SHEET S1
TITLE SHEET & FOUNDATION PLAN
MONO COUNTY
PROJECT NO. 1:1546-01-048

THE WET STAMPED AND PERMITTED RECORDS SUPERSEDES ALL OTHER VERSIONS INCLUDING THIS ONE. FOR MORE DATA SEE PROJECT NOTATION AGREEMENT.
0" 12" 1" INCH@FULL SCALE

PREPARED FOR:
CLAYTON HOMES
10020 Highway 50 East
Carson City, NV 89706
775-246-4500

Robison Engineering
485 VICTORVILLE AVE, SUITE 20
MAMMOTH LAKES, CA 93546
DRAWN: RMM
DATE: 2021-10-XX

REGISTERED PROFESSIONAL ENGINEER
MATTHEW EARL ROBISON
64888
Exp: 2023-06-30
CIVIL
STATE OF CALIFORNIA

GENERAL NOTES:
THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PROCEDURES AND GUIDELINES, AND ARE BELIEVED TO BE IN SUBSTANTIAL COMPLIANCE WITH APPLICABLE STATUTES, CITY ORDINANCES, AND/OR COUNTY STANDARDS. IN THE EVENT OF A CONFLICT BETWEEN ANY PORTION OF THESE PLANS AND JURISDICTIONAL STANDARDS PROMPTLY NOTIFY ENGINEER. THE JURISDICTIONAL STANDARDS SHALL APPLY. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

- IF THE CONTRACTOR(S) OBSERVES ANY CONDITION ON THE SITE WHICH CONFLICTS WITH THE INFORMATION SHOWN HEREON, THEY SHALL CONTACT ROBISON ENGINEERING AT 775-852-2251 FOR RESOLUTION.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER. IF THE INSPECTOR OR SUBCONTRACTOR(S) OBSERVE CONSTRUCTION MATERIALLY DEVIATING FROM THESE PLANS, THEY SHALL NOTIFY THE ENGINEER AT 775-852-2251 OR STRUCTURAL@ROBISONENG.COM FOR RESOLUTION. THE OWNER SHALL BE RESPONSIBLE FOR THE COST IN TIME AND MATERIALS TO CONTRACTOR, SUBCONTRACTOR AND ENGINEER FOR SUCH DEVIATION.
- NO INFORMATION HEREON SHALL BE CONSTRUED TO REPRESENT A FORMAL SURVEY OF THE SUBJECT PROPERTY OR LANDS. MAPPING AND DESIGN ARE INTENDED FOR ENGINEERING AND CONSTRUCTION USE ONLY AND REPRESENT NO OPINION AS TO PRIVATE OR PUBLIC LAND BOUNDARIES.
- COORDINATION: IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH ALL PUBLIC AGENCIES AND TO BE AWARE OF THEIR PERMITTING, INSPECTION, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN PERMITS FOR RIGHT-OF-WAY OCCUPANCY, TEMPORARY AND PERMANENT UTILITY USE AND CONNECTIONS, AND ALL OTHER PERMISSIONS, AUTHORIZATIONS, FEES, AND COORDINATION WITH PRIVATE AND PUBLIC AGENCIES AND UTILITY PROVIDERS.
- CLEANING OF THE PROJECT: AT THE COMPLETION OF CONTRACTED OR SUBCONTRACTED WORK THE CONTRACTOR SHALL THOROUGHLY CLEAN THE PROJECT WORK AREA, REMOVING ALL RUBBISH, SCRAP AND DEBRIS PRODUCED BY THEIR WORK, EMPLOYEES, OR SUBCONTRACTORS. ALL SUCH MATERIAL SHALL BE PROPERLY RECYCLED, WHERE FEASIBLE, OR DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATIONS.
- CONTRACTOR SHALL FIELD-VERIFY ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND POINTS OF CONNECTIONS WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE). ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

MISCELLANEOUS NOTES

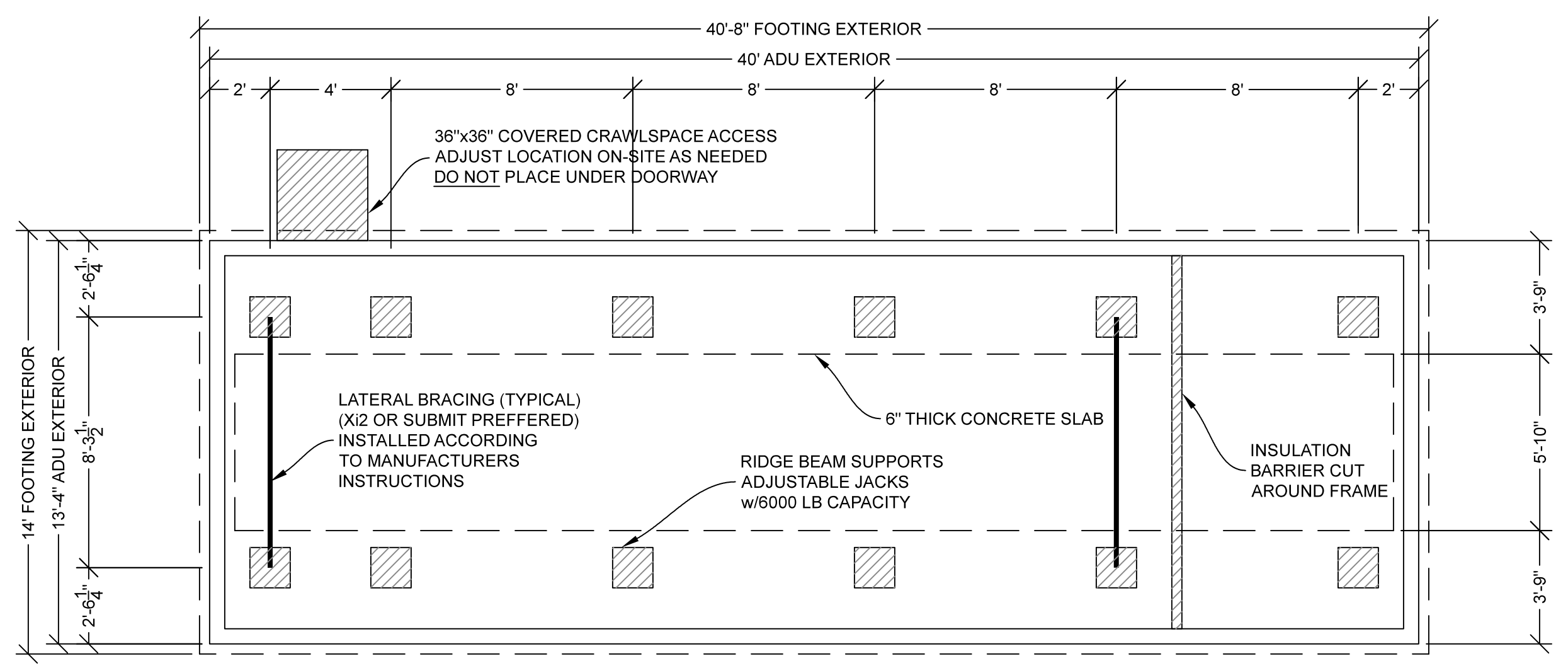
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY PRECAUTIONS, COMPLIANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS, AND FOR RESPONSIBLE DIRECTION OF WORKERS AND ERECTION SCHEDULING TO AVOID HAZARDOUS, UNSTABLE, AND PUBLIC NUISANCE CONDITIONS AT THE JOB SITE.
- MEANS AND METHODS OF ERECTION OF STRUCTURAL MATERIALS ARE SOLELY THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY.
- CONFIRM ALL VERTICAL AND LATERAL SUPPORTS, INCLUDING CAPACITY AND SPACING, WITH MANUFACTURER'S PLANS AND SPECIFICATIONS. CONTACT THE ENGINEER IN THE EVENT OF CONFLICT, AND DO NOT PROCEED WITH CONSTRUCTION WITHOUT RESOLUTION OR ADOPTION OF THE MOST CONSERVATIVE INTERPRETATION OF PLAN AND INSTALLATION REQUIREMENTS.
- CONCRETE FOUNDATION: PROVIDE MINIMUM 18"x24" COVERED CRAWSPACE ACCESS WITHIN 5' OF WATER AND SEWER CONNECTIONS WITH 24" CLEAR SPACE IN FRONT AND BEHIND WALL. PROVIDE VENTILATION CONSISTING OF OPERABLE 6"x14" (MINIMUM) WITHIN 36" OF EACH CORNER AND AS REQUIRED TO MEET 1 SQ. IN. 150 SQ. FT. OF BUILDING AREA.

CAST-IN-PLACE (CIP) CONCRETE
- REINFORCED CONCRETE SHALL CONFORM TO APPLICABLE REQUIREMENTS OF THE IBC AND ACI STANDARD 318-05, AND FURTHERMORE:

- CONCRETE SPECIFICATIONS:
 - DESIGN COMPRESSIVE STRENGTH AT 28 DAYS = 2500psi (NO SPECIAL INSPECTION REQUIRED; COORDINATE WITH GENERAL CONTRACTOR AND/OR OWNER FOR HIGHER STRENGTH MIX DESIGN REQUIREMENTS, IF ANY)
- CONCRETE SHALL NOT BE PLACED UNTIL INSPECTION BY, AT A MINIMUM, THE OWNER OR OWNER'S REPRESENTATIVE, OR SPECIAL INSPECTOR. SPECIAL INSPECTION REQUIRED WHEN INDICATED HEREON (SEE TABLE THIS SHEET)
- "NEAT" EARTH FORMING MAY BE USED FOR FOOTINGS ONLY, UNLESS NOTED OTHERWISE.
- REINFORCEMENT SHALL BE CONTINUOUS THROUGH CONSTRUCTION JOINTS. ADDITIONAL JOINTS REQUIRED TO FACILITATE CONSTRUCTION SHALL BE LOCATED AWAY FROM STRUCTURAL CONNECTIONS.
- WHERE NOT SPECIFIED, FINISHES SHALL BE COORDINATED WITH OWNER AND SHALL CONFORM TO TYPICALLY ACCEPTED STANDARDS OF WORKMANSHIP, OR TO COMPLY WITH THE GOVERNING JURISDICTION.
- MECHANICAL, ARCHITECTURAL, AND ELECTRICAL DRAWINGS SHALL BE CONSULTED SO THAT REQUIRED SLEEVES, PENETRATIONS, OUTLET BOXES, ETC. SHALL BE INCORPORATED INTO THE CONCRETE PLACEMENT SCHEDULE.
- WEATHER PROTECTION:
 - IN HOT WEATHER FOLLOW "RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING" ACI 305
 - IN COLD WEATHER FOLLOW "RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING" ACI 306

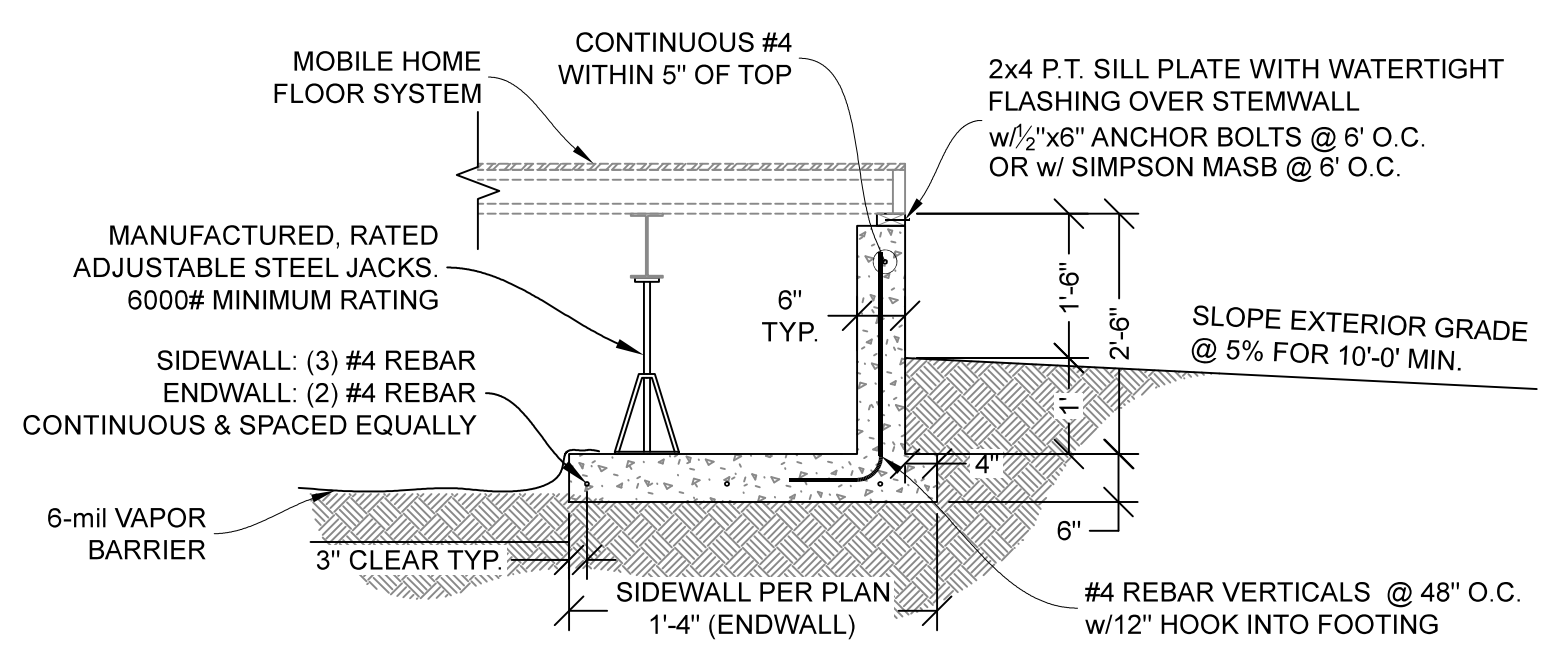
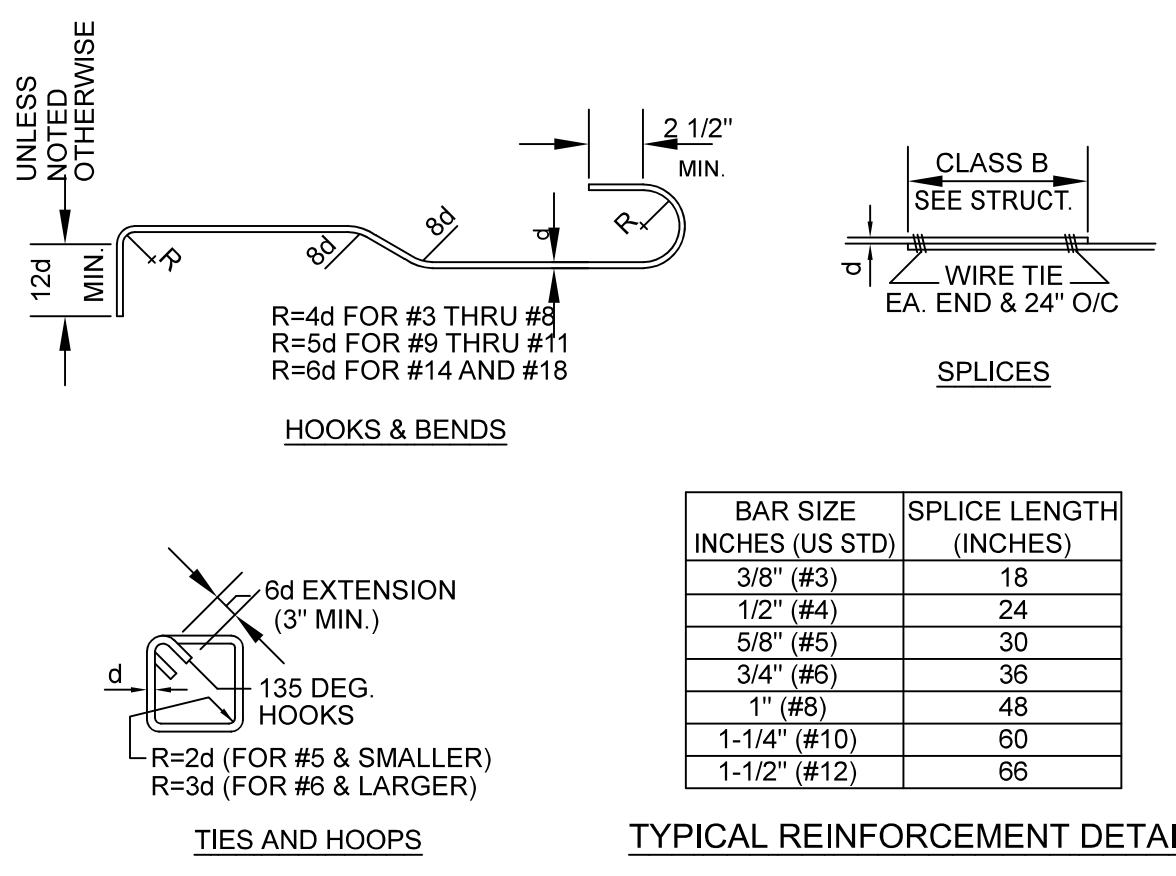
MANUFACTURED HOME INSTALLATION NOTE:
THIS FOUNDATION PLAN CONFORMS TO THE REQUIREMENTS OF THE U.S. HOUSING AND URBAN DEVELOPMENT (H.U.D.) MODEL MANUFACTURED HOME INSTALLATION STANDARDS, 2003 EDITION, AND THE 2015 NEVADA MANUFACTURED HOME & COMMERCIAL COACH INSTALLATION STANDARDS, WHICH ARE HEREIN INCORPORATED BY REFERENCE. THESE PLANS ARE INTENDED TO PROVIDE FOR A PERMANENT ATTACHED RESIDENCE SUITABLE FOR RECOGNITION AS A REAL ESTATE IMPROVEMENT, RATHER THAN A MOVABLE/RECREATIONAL VEHICLE/MOBILE BUILDING.

FORMAL ENGINEERING CALCULATIONS ARE NOT PROVIDED. ALL SPECIFIED ELEMENTS ARE PRESCRIPTIVE FOR THE SITE-SPECIFIC LOADING AND SOIL CONDITIONS INDICATED ABOVE. THIS NOTE COMPRISES THE ENGINEER'S CERTIFICATION THAT THE FOUNDATION IS PROPERLY DESIGNED TO THE RELEVANT CODES, INCLUDING 2015 STATE OF NEVADA GUIDELINES, 1996 AND 2003 HUD FOUNDATION GUIDELINES, AND 2015 CHAMPION MANUFACTURED HOME INSTALLATION INSTRUCTIONS, AS APPLICABLE.



FOUNDATION PLAN
SCALE 1/4" = 1'

2 REQUIRED LATERAL BRACES
X2 SYSTEM OR SUBMIT PREFERRED
DO NOT INSTALL AT CRAWLSPACE ACCESS LOCATON



1 VERTICAL & LATERAL SUPPORT DETAIL
SCALE 1/2" = 1'-0"

1	CLIENT ADU PLAN 2021-10-08
2	
3	
4	
5	
6	
7	
8	

REFERENCES

DATE	CHK'D	BY
2021-10-08	RMM	RMM
2021-10-15	RMM	RMM

NO	DESCRIPTION
P1	FOR CLIENT REVIEW
0	ISSUED FOR PERMIT

NO	REVISIONS

NO	DESCRIPTION
P1	FOR CLIENT REVIEW
0	ISSUED FOR PERMIT



Customer Verification List

Unit:

13'4" X 32' 1BR 1BA

Page : 1 of 3

Order No.: QT020597 Rev 2	Order Type: Retail	Bill To: 0232NV	Sell To: 0232NV
Model Year: 2022	Ret. Cust.: Reedy	CMH Homes Inc.	CMH Homes Inc.
Retailer P.O.:	Energy Zone:	Clayton Homes	Clayton Homes
Floor Size: 32'0" X 13'4"	Wind Zone:	10020 Hwy 50 East	10020 Hwy 50 East
Brand: Champion ADU	Roof Load:	Carson City, NV 89706	Carson City, NV 89706
Model No.: HCADUAD1321B	Sales Person: Chuck Bleth		
	Construction Type: HUD		
Shipping Agent:	Shipping County: CARSON CITY	FOB: Factory	

Feature	Option	Variant	Description	Quantity
---------	--------	---------	-------------	----------

Packages

OTHER	OP009161		Wildland Urban Interface	1
			*****VERIFY EXTERIOR SIDING IS WUI COMPLIANT*****	

Construction

ROOFTYPE	OP001937		Shed Roof	1
FLOORDECK	OP000183		19/32" T&G OSB Decking	1
HITCH	OP006430		Detachable Hitch	1
			*****AXLES*****	
PORCH	OP001038-S8		8' Porch SW	1
			SEE EXTERIOR FOR DETAILS	
SIDEWALHTH	OP001050-10/8		10' Front/ 8' Rear Sidewalls	1
FLOORJST	OP002193-16		2 X 6 Floor Joists 16" OC	1
FRAME	OP000155		Full Length Frame	1
			DOES CUSTOMER REQUIRE RECESSED FRAME?	
SWALLHT	OP000772-2X6		2x6 Exterior Walls	1
ROOFLOAD	OP006653-SHED-H100		100# Roof IPO 30# - SHED	40
EAVES	PM000018		Nom12" Leading & Tailing Eaves	1
EAVESFRNT	OP100008		6" Eaves (Nominal)	1
EAVESBACK	OP100008		6" Eaves (Nominal)	1
CLGTYPE	OP006480-M		Mono-Slope Ceiling	1
ROOFSHEATH	OP000182-07/16		7/16" OSB Roof Decking	1
OTHER	OP000146		All Brake Axles -Per Floor	1
INTWALL	OP000774		2x4 Int Walls 24" O.C.	1

Insulation

ROOFINS	OP100013		R-28 Ceiling Insulation	1
FLOORINS	OP100010		R-22 Floor Insulation	1
EXTWALLINS	OP100011		R-19 Wall Insulation	1

Exterior

FRTDRLIGHT	NB000667		Black Porch Light - Front	1
REARDRLGT	NB000666		Black Porch Light - Rear	1
PORCHDECK	NB006537-COMP		Composite Porch Decking	1
PORCHRAIL	NB006539		Painted Rails with Rebar	1
OTHER	NB006538-6X6	-SELECT-	6x6 Wrapped Porch Posts	1
OTHER	OP003566-S		15# Shingle Underlayment	1
OTHER	OP006643		WUI Soffit Vents	1
SHINGLES	OP003557	-SELECT-	Architectural Shingles	1
SIDING	NB006004	-SELECT-	CemBoard Panel	1
TRIM	OP000660	-SELECT-	Standard Exterior Window Trim	1
FASCIA	OP001932-8	-SELECT-	Eave Fascia	1
HOUSEWRAP	OP002688-STD		House Wrap	1
SOFFIT	OP006642		WUI FiberCement Soffit	1

Exterior Doors

Feature	Option	Variant	Description	Quantity
SGD	NB001888		72" x 80" Sliding Glass Door	1
	***INCLUDES VERTICAL BLIND			
	***72 X 80			
FRONTDOOR	NB001613		36" Mission Door	1
Windows				
EXTERIOR	OP006641		WUI Windows	1
OTHER	NB006598		STACKED Wdws -Per Print	1
Plumbing/Heating				
WASHDRYER	NB001171		Prep for Stack W/D-ELEC	1
HEATSYS	NB000005-WH		Wall Heaters	1
DUCTSYS	OP100040		Ducts - None installed	1
WH	NB100043		ELECTRIC 40 gal Water Heater	1
WHACCESS	OP100046		Waterheater Access Panel	1
SHUTOFFS	NB000280		Main Water Shut-Off	1
OTHER	NB000279		Shut off valve's t/o	1
Electrical				
SWITCHES	OP100048		Toggle Light Switches - Std	1
GFIRECEPT	NB000486-V2		Exterior GFI Recep	1
SMOKEDETECT	NB000489		Smoke Detectors w/batt back up	1
MAINPANEL	NB000483		200 AMP Panel Box	1
Interior				
CLGCOVE	NB006505-0093		0093 Cove Mldg Thru-out	1
CEILINGFIN	OP001652-ST		Skip Troweled Ceiling Texture	1
BASEMLDG	NB002218		356 Base Mldg T/O	1
CABINET	AV001380		AUTUMN FP Cabinets	1
CLOSETSHLV	OP002884		16" Wood Shelving	1
DOORS	OP001166		2 Panel White Int Doors	1
DRMOLDING	OP002713		356 Door Moulding	1
OTHER	OP003017		Deluxe Drawer Guides	1
PAINT	NB006016	-SELECT-	EGGSHELL Interior Paint	1
WALLFINISH	OP001659-R		T&T - Rounded	1
WINMLDG	OP002714		356 Window Moulding	1
WDWJAMBS	OP002704	White	1/2" Window jamb & wood sills	1
Appliances				
REFER	NB100051-18	-SELECT-	18 CF Refrigerator	1
RANGE	NB100099	-SELECT-	ELECTRIC Deluxe Range	1
RNGHOOD	NB100050	-SELECT-	Range Hood	1
Floor Covering				
CARPET	NB100243-TA	-SELECT-	Carpet - That's Awesome	1
CARPETPAD	OP000100		3/8" 5# rebond pad	1
DININGROOM	OP100087	-SELECT-	Linoleum	1
FOYER	OP100087	-SELECT-	Linoleum	1
HALLBATH	OP100087	-SELECT-	Linoleum	1
KITCHEN	OP100087	-SELECT-	Linoleum	1
LIVINGROOM	OP100087	-SELECT-	Linoleum	1
Dining Room				
CEILINGLGT	NB000549-		4" LED Can Lights --See Print	1
	*****SEE ELECTRICAL PRINT FOR QUANTITY AND LOCATION*****			
Kitchen				

Feature	Option	Variant	Description	Quantity
CABINETDR	NB000579		Drawer over Door Cab Construct	1
CABOTHER	NB002618		Cabinet over Refrigerator	1
CABOTHER	OP000580		Adjustable Overhead Cab Shelf	1
OVRHDCABDR	OP006600-30E		31" Overhead Cabinets	1
CTRTOP	OP100065	-SELECT-	Countertop - Laminate	1
EDGE	OP006460	-SELECT-	Crescent Laminate Edge	1
BCKSPL	NB006603-STD	-SELECT-	4" Ceramic Tile	1
SINK	NB100062		Kitchen Sink: Stainless Steel	1
FAUCET	NB001519		Single Lever Faucet w/Spray	1
CEILINGLT	NB000549-		4" LED Can Lights --See Print	1
	*****SEE ELECTRICAL PRINT FOR QUANTITY AND LOCATION*****			
CABCRNMOLD	NB000581		Crown Mldg over Kitchen Cab's	1

Living Room

CEILINGLT	OP000495		Switch Controlled Recep	1
	--LIGHTS OPTIONAL			
CEILINGFAN	NB001745		Prep for paddle fan	1

Hall Bath

VANMIRROR	OP000882		24"x40" SE Bath Vanity Mirror	1
VENTFAN	NB000512		Bath vent fan w / light	1
TUB	NB000381	White	1-PC Fiberglass Tub/Shower	1
SINK	NB000546	White	China bath vanity sink	1
SINKFAUCET	OP001514		Faucets: Single Lever	1
CTRTOP	OP100058	-SELECT-	Countertop - Laminate	1
EDGE	OP006460	-SELECT-	Crescent Laminate Edge	1
BCKSPL	NB006603-STD	-SELECT-	4" Ceramic Tile	1
CEILINGLT	NB000549-		4" LED Can Lights --See Print	1
	*****SEE ELECTRICAL PRINT FOR QUANTITY AND LOCATION*****			
VANITYLT	NB000535-2		SN Cosmetic Bar-2 Light	1
TOILET	NB000537	White	Elongated toilet	1
OTHER	NB000587		Satin Nickel Towel & Tissue	1
OTHER	OP003036		36" Lavy height	1

Master Bedroom

CEILINGLT	NB000548		Satin Nickel Ceiling Light	1
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Miscellaneous

OTHER	OP100292		Production Comments	1
	REQUIREDFULL PHYSICAL SHIPPING ADDRESS**			

Inflation Protection Plan

DISCLOSURE	OP00IPP-D		IPP-DISCLOSURE	1
	<p><i>The quoted price for this home will not be finalized until 10 weeks prior to production (the "10-Week Quote") and is subject to an Inflation Protection Plan ("IPP") at the time of invoicing. The 10-Week Quote will include an IPP surcharge of 10% above our base price plus any other surcharges in effect at that time. The final invoice price will be adjusted in accordance with the IPP, but Retail Sold homes will not exceed the 10-Week Quote.</i></p>			

Requested By:

SIGNED X _____

DATE _____